



3889 Rideau Valley Drive  
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**Executive Committee Meeting**  
Thursday, February 8, 2024  
7:00 p.m.  
**RVCA Boardroom**  
**3889 Rideau Valley Drive, Manotick ON**  
**and Electronically via Zoom**

**AGENDA**

<b>Meeting 2/23</b>	<b>Page</b>
1) Roll Call and Introductions	
2) Executive Committee to sit as Hearing Board	
• Hearing to be held under Section 28 of the <i>Conservation Authorities Act</i>	
3) Declarations of Interest	
4) Chair's Opening Remarks	
5) Administration of Oaths or Affirmations	
6) Presentation by RVCA Staff.....	01
7) Presentation by Applicant / Agent.....	12
8) Discussion	
• Questions from Staff and Applicant and/or Applicant's Agent	
• Questions from Hearing Board	
9) Hearing Board to move In Camera	
10) Hearing Board to move Out of Camera	
11) Chair to advise of Hearing Board decision	
12) Hearing Board to sit as Executive Committee	
13) Approval of Previous Executive Committee Meeting Minutes	
Executive Committee Meeting – January 25, 2024	
14) Adjournment	

**Proudly working in partnership  
with our 18 watershed municipalities**

Athens, Augusta, Beckwith, Central Frontenac, Clarence-Rockland,  
Drummond/North Elmsley, Elizabethtown-Kitley, Merrickville-Wolford, Montague,  
North Dundas, North Grenville, Ottawa, Perth, Rideau Lakes, Smiths Falls, South Frontenac, Tay Valley, Westport

## **STAFF REPORT**

**To:** RVCA Executive Committee – Application Hearing  
**From:** Eric Lalande, MCIP, RPP, Senior Planner, Planning and Watershed Science  
**Subject:** Hearing of Application for Development – Ontario Regulation 174/06  
**Date:** February 8, 2024

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**Application:** RV6-0622 and RV6-4723 (Violation)

**Applicant:** Robert Long & Marjorie Harriot  
1074 Tomkins Farm Crescent  
Greely, ON K4P 1M5

### **Description of Property:**

Lot 28, Concession 1, geographic township of Rideau, now the City of Ottawa.  
Known municipally as 6981 Fennel Lane, Lot 28.  
Roll#: 0614 1828 2523 0000 0000

### **Revised Application for Development:**

The revised development application is to permit modifications to the previously approved permission for a dwelling, accessory structure, private sewage system and associated grading. The revision seeks to add the following to the previous approval:

- a) Construction of a full height basement for an additional gross floor area of 115.92 m<sup>2</sup> (1237.85 ft<sup>2</sup>).**
- b) Construction of a wrap-around covered porch of 27.13 m<sup>2</sup>. (292 ft<sup>2</sup>);**
- c) Placement of fill and associated grading work.**

The revisions are intended to recognize works that have taken place subsequent to and not in conformity to the original approved permit application as discovered through site inspection.

### **Submission Documents for Review:**

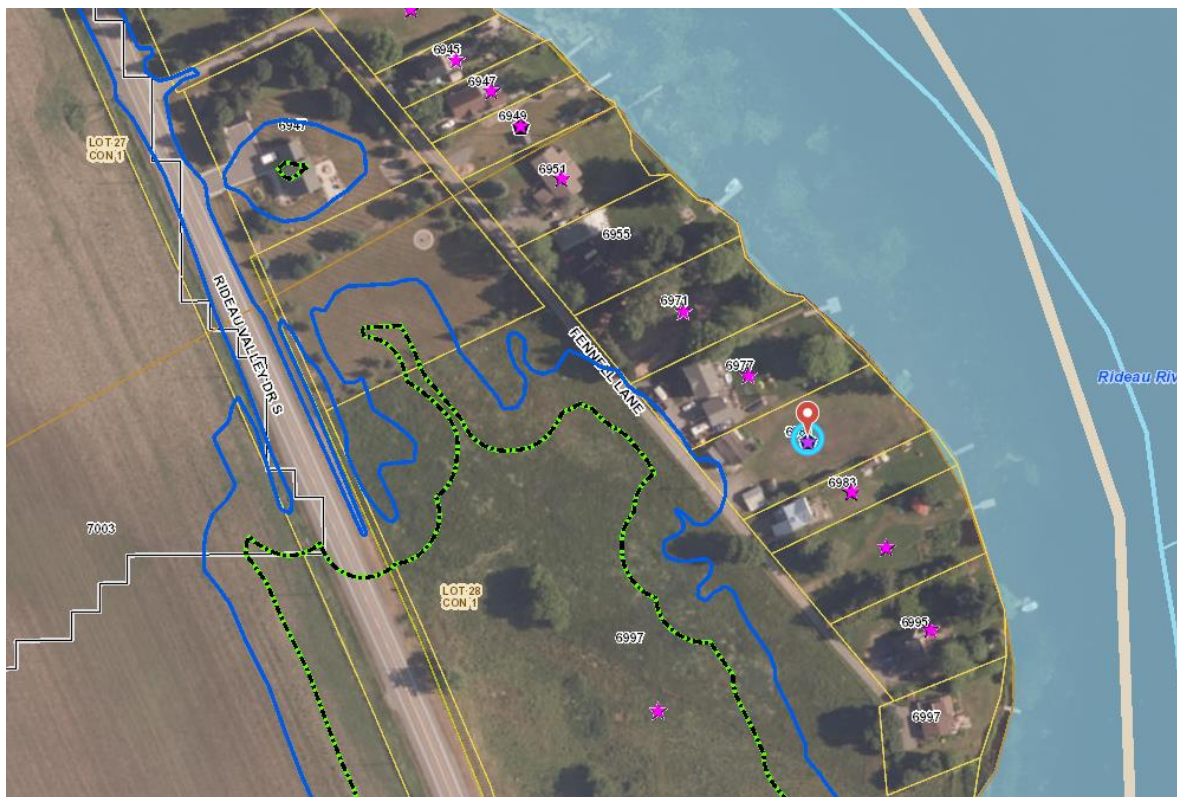
The revised application was submitted along with the following supporting materials:

- A. Application for Development
- B. Addendum to the application form with detailed explanation for request reasons.

- C. As-Built Surveyor Topography dated November 30, 2023, prepared by Annis, O'Sullivan, Vollebekk Ltd.
- D. Proposed New Dwelling and New Garage at 6981 Fennel Lane (kars), Ottawa Ont. dated August 2023, Job #2200:
  - a. Construction drawings showing the revised deck configuration (Sheets D5, D6, D7, D10, D11)
  - b. Construction details showing basement design; (Sheet D12)
- E. Field Memorandum regarding subgrade information, dated May 10, 2023 prepared by Morey Associates;
- F. Various project photos of on-going construction and surrounding area;
- G. Other related municipal correspondence regarding inspection reports.

### Site Description and Context for Revision:

The subject lands are known municipally as 6981 Fennel Lane. The property is bounded by Fennel Lane to the West and the Rideau River to the East. Residential lots are located adjacent to the property both to the North and South. Fennel Lane is a dead end road that has one access to Rideau Valley Drive South. The entirety of the subject lands is within the floodplain associated with the Rideau River. The regulated flood level in the area of proposed development is 87.27 meters above sea level. Safe access is not available along Fennel Lane for the subject lands.



RVCA Geoportal – Aerial view of the subject land with floodplain overlay

The original approved application (issued June 17, 2022) permitted the construction of a new one-storey 1140 ft<sup>2</sup> single detached dwelling constructed on a wet floodproofed crawlspace basement, an accessory structure (detached garage) as well as the limited placement of fill to accommodate a private sewage system associated with an approved grading plan.

The permission to build replaced an existing 950 ft<sup>2</sup> single storey dwelling, that has since been demolished in favour of new construction. The increase in gross floor area maximized the size permitted by policy for redevelopment and was predicated on a wet floodproofed crawlspace basement, as submitted though construction details to the original approved plans.

The project also received a separate conditional approval (minor variance) through the municipal planning process restricting the structure to a crawl space basement with a ceiling height no greater than 1.8 metres (5'11"). The approval under the Planning Act is separate from the Conservation Authority process and not intended to be addressed by this report.

The RVCA completed a site visit on October 12, 2023 noting several violations as part of the construction activity on site. A Notice of Violation was issued on October 17, 2023, which identified the construction of additional gross floor area, construction of a covered porch, placement of additional fill beyond the extent of the approved grading plan and construction of an additional shed. The additional gross floor area related to both a second storey addition and full height basement above the crawlspace limit of 1.8 meters. Additionally, it was noted that HVAC, mechanical and electrical components being installed below grade, which do not comply with floodproofing requirements. The matter of the second storey and additional shed have been resolved separately from the revised application and are not discussed further through this report. The revisions requested are to permit work completed outside of the original permission.



**28.1** (1) *An authority may issue a permit to a person to engage in an activity specified in the permit that would otherwise be prohibited by section 28, if, in the opinion of the authority,*

- (a) the activity is not likely to affect the control of flooding, erosion, dynamic beaches or pollution or the conservation of land;*
- (b) the activity is not likely to create conditions or circumstances that, in the event of a natural hazard, might jeopardize the health or safety of persons or result in the damage or destruction of property; and*
- (c) any other requirements that may be prescribed by the regulations are met. 2017, c. 23, Sched. 4, s. 25.*

### Hearing

**28.1** (5) *An authority shall not refuse an application for a permit or attach conditions to a permit unless the applicant for the permit has been given an opportunity to be heard by the authority. 2017, c. 23, Sched. 4, s. 25.*

The applicant was advised prior to the application being made and by formal letter, dated January 19, 2024 that staff would not be in a position to support the application and thus the application has been brought forward to a hearing with the Executive Committee.

### Ontario Regulation 174/06, Development Prohibited – Section 2 and 3

**2.** (1) *Subject to section 3, no person shall undertake development or permit another person to undertake development in or on the areas within the jurisdiction of the Authority that are,*

- (c) hazardous lands;*

**3.** (1) *The Authority may grant permission for development in or on the areas described in subsection 2 (1) if, in its opinion, the control of flooding, erosion, dynamic beaches, pollution or the conservation of land will not be affected by the development. O. Reg. 174/06, s. 3 (1).*

The applicants have authorized work on the subject lands in advance of permits, the revised application is seeking to bring these works into compliance with required approvals.

### **Policy Considerations**

The RVCA Policies Regarding the Construction of Buildings and Structures, Placing of Fill and Alterations to Waterways outline specific policies that apply to the proposed development:

#### **Section 1.1, General Principles:**

- a) New development must result in no significant impact on expected flood levels or velocities, taking into consideration the direct and cumulative effects of the development on flood plain conveyance capacity and storage capacity.*

- b) *New development involving capital investment in flood susceptible areas by the public and private sectors must be designed so that structures and their contents are protected against flood damage.*
- c) *New development must not increase the risks to public safety which are expected to be present during the regulatory flood (or more frequent floods); in this regard the availability of access to and egress from the structure and the potential depths of water over access routes will be the primary consideration.*

The application does not demonstrate that there will be no impacts on expected flood levels or velocities, the proposal is looking to increase capital investment in a flood susceptible area and has the potential to increase risk to public health and safety.

**Section 1.2. 1) states that development shall be prohibited within the 1:100 year floodplain including within areas of reduced flood risk (flood fringe) where the use is:**

*Development within the 1:100 year regulatory floodplain shall not be permitted except as allowed by specific policies elsewhere in this document. This includes:*

- i) *new buildings and structures;*
- ii) *major additions;*
- iii) *site grading and filling; ...”*

It is noted that exceptions are outlined in section 1.3 relate to reconstruction, relocation, repairs and renovations which are outlined below.

**1.3.3 (1) Type I Additions**

*Small additions may be permitted in the floodway if all of the following considerations are addressed:*

- (a) *the size of the addition does not exceed 20% of the gross floor area of the existing building or 20 square metres (215 square feet), whichever is the lesser;*
- (b) *the addition is not more vulnerable to flooding than the existing building (where possible protection to the 1:100 year flood level should be provided);*
- (c) *the proposal will not alter the use or have the potential to alter the use of the building or structure [the number of bedrooms both existing and proposed and the number of fixture units for bathroom(s) and kitchen will be key elements in the consideration as will the configuration of the interior space (taking into account its ability to subsequently be altered to affect the use)];*
- (d) *no application resulting in the cumulative exceedance of 20% of the gross floor area or 20 square metres, whichever is the lesser or, where the property fronts on a maintained municipal road, a maximum gross floor area of 93.0 square metres (1000ft<sup>2</sup>) for the existing building and the addition together 1 will be considered under this section.*

The application is seeking an increase in gross floor area of 115.92 m<sup>2</sup> (1237.85 ft<sup>2</sup>) which is greater than the maximum permitted. The location of the basement extends below the regulated flood elevation and is more vulnerable to flooding than the remainder of the building. The space is identified as unfinished and has the potential to be converted to elements that have the potential for greater impacts (without the need for additional approvals). It should be noted the additional maximum increase of 20% (up to a maximum of 20 m<sup>2</sup>) was previously approved to accommodate the ground floor, thus the cumulative additional gross floor area has already been allocated to the ground floor. The proposed full height basement would bring the total gross floor area increase requested to 150% over the original dwelling.

The subject lands do not have safe access and therefore cannot be considered for a Type II addition, which allows for maximum of 50% (up to 50 m<sup>2</sup>) increase, the greatest increase of any residential redevelopment policies within the floodplain.

### **1.3.3 (3) Additions peripheral to a residential use**

*For both Type I and Type II additions a further addition that is peripheral in nature to the primary use such as an open deck may be permitted if:*

- (i) it is small as described in 1.3.3 (1)(a) above;*
- (ii) it is fully open and the overhang of the adjoining roof does not cover the deck to a significant extent (less than 10%);*
- (iii) it is properly anchored to prevent flotation, will not be subject to major damage by flooding, and flood flows and water storage are not impeded.*
- (iv) Water setback requirements are met in conjunction with policies contained elsewhere in this document.*

The covered porch is sized at approximately 27.13 m<sup>2</sup> which is greater than the maximum 20 m<sup>2</sup> permitted by size and it is entirely covered which exceed the coverage permitted by policies.

### **1.4.2 (d) Dry Flood Proofing (Full Basement)**

- underside of main floor shall be at least 300 mm. above the 1:100 year flood level;*
- structural details of foundation elements and specifications for fill materials and compaction procedures must be prepared or approved by a qualified Professional Engineer at the applicant's expense;*
- the responsible Professional Engineer shall certify in writing that the design has taken into account regulatory flood (velocity and depth of flow) and site (soil type, bearing capacity etc.) conditions encountered at the specific location of the development; and*
- the Professional Engineer's certificate must confirm that the foundation and building are designed to withstand hydrostatic pressures and / or impact loading that would develop under water levels equivalent to the design storm [1:100 year flood level plus (minimum) 0.3 metres of freeboard];*



- *the responsible Professional Engineer must also identify all operation and maintenance requirements to be met in order to ensure the effective performance of the floodproofing measures over the design life of the structure; and*
- *a notice to prospective purchasers shall be registered on title at the applicant's expense (see Section 1.4.5).*

The structure has provided limited details for the foundation and require certification from a Professional Engineer to allow for a full basement. This is a requirement to comply with policy for a full height basement and is a distinct change in requirements over a wet floodproofed crawlspace that was originally approved. The RVCA acknowledges that professional engineered drawings have not been provided given the gross floor area concerns and was not made a requirement of the complete application. The supporting documentation provides limited components to improve the foundation, however, insufficient information is available for staff approval. Elements such as the electrical systems appear to be located below the regulated flood elevation. Elevations of window openings, or commentary on foundation walls withstanding hydrostatic pressures are not included in the design drawings. Sump pump details or elevation data on mechanical and electrical facilities are not available in the submitted drawings. Additional, Wet Floodproofing of a full height basement is prohibited.

There is insufficient information for RVCA staff to comment on floodproofing measures proposed by revised design.

## **2.1 Minor removal or placement of fill / minor site grading in the floodplain**

*Exceptions may be considered for the minor removal or placement of fill / minor site grading / minor site alteration in the floodway where flood depths in the floodway are shallow, flow velocities are minimal and the proposed development or site alteration is considered to be minor in nature with no impact in terms of its effect on the control of flooding, pollution, erosion and the conservation of land such that:*

- (i) The site alteration (cut and fill operation) is confined to lands toward the edge of the flood plain with ground elevations that are at present no more than 0.3 metres lower than the estimated 1:100 year water surface elevation of the river or stream (public safety risks associated with lands that are flooded to depths of 0.3 metres or less may be considered as "minor")*
- (ii) The loss of flood plain storage volume within the 1:100 year flood plain which will result from the placement of fill shall be fully compensated for by a balanced cut (or excavation) to be carried out in close proximity to and concurrent with the placement of the fill in accordance with the following tolerances:*
  - the volume of available flood plain storage capacity within the affected river or stream reach shall not be reduced; and*
  - the minimum proposed ground elevation in the compensating excavation area shall not be lower than the minimum existing ground elevation in the proposed fill area (cutting below the normal high water mark will not be considered for*

*calculation purposes and filling below the normal high water mark will not be permitted);*

*- the proposed site grading (cut and fill) must be designed to result in no increase in upstream water surface elevations and no increase in flow velocities in the affected river crosssections under a full range of potential flood discharge conditions (1:2 year to 1:100 year return periods); compliance with this requirement shall be demonstrated by means of hydraulic computations completed to the satisfaction of the RVCA.*

*(iii) adequate overland flow routes in local drainage networks must be maintained;*

*(iv) flood-proofing measures consistent with those described in this document (Section 1.4) are incorporated into the design of all proposed buildings or structures and safe access is available.*

An unquantified volume of fill has been placed on the property in excess of the grading work as approved by the original application. While the original approved grading plan was prepared by a qualified professional, the requested changes to the grading have not, nor have they been presented or analysed in accordance with the above noted policies. Further, the fill being proposed does not provide for any offsetting removal of fill, and at depths greater than that provided by the policies. Therefore, it is apparent that the policies are unable to be met without significant changes to the design, and likely not achievable given the proposed development and location within the floodplain. As such, it has not been demonstrated that the work requested as part of the revised application will result in no negative impacts on the floodplain.

The submitted topographic survey provide updated grades that indicates that fill in the rear yard has been fill in depths up to approximately 1.6 metres in depth, varying depth as it ties in to existing grades. Further, the as-built grades are roughly 0.2 metres greater than approved at the tie-in to the dwelling. The topographic survey also suggests the top of floor of the garage is constructed 0.3 metres higher than proposed, which impacts the grade and volume required for access to the garage for vehicles. No elevation data was provided for the construction of the dwelling, which impacts the ability for staff to assess the floodproofing requirements noted above.

## Summary

The proposed development being sought as part of revised application does not meet applicable policy for development within the floodplain. Therefore, staff are unable to approve the application for the following reasons:

1. The development has the potential to increase risk to public health and safety during a regulatory flood by providing increased living space within the floodplain above accepted thresholds and in a manner that makes the living space more flood susceptible by introducing living space below the regulated flood elevation.

The regulated flood elevation on the subject lands and used for basis of review is 87.27 metres above sea level (geodetic).

2. The additional living space is greater than the maximum permitted by policy. The original application for redevelopment of a dwelling included specific request to increase the maximum allowable gross floor area for the property, whereas the revised application seeks to expand beyond the maximum additional living space permitted.
3. The additional living space is not consistent with applicable floodproofing measures as it is located below the regulated flood elevation and a floodproofing design prepared by a qualified professional has not been submitted as part of the application.
4. The proposed development has not demonstrated that the placement additional fill will not create adverse impacts associated with flooding.
5. Insufficient information is available for staff to make additional review to weigh the application fully against the RVCA's development policies.
6. The granting of permission will be inconsistent with the approved Development Policies approved by the Executive Committee dated February 22, 2018, as amended;
7. The granting of permission will set a precedent.

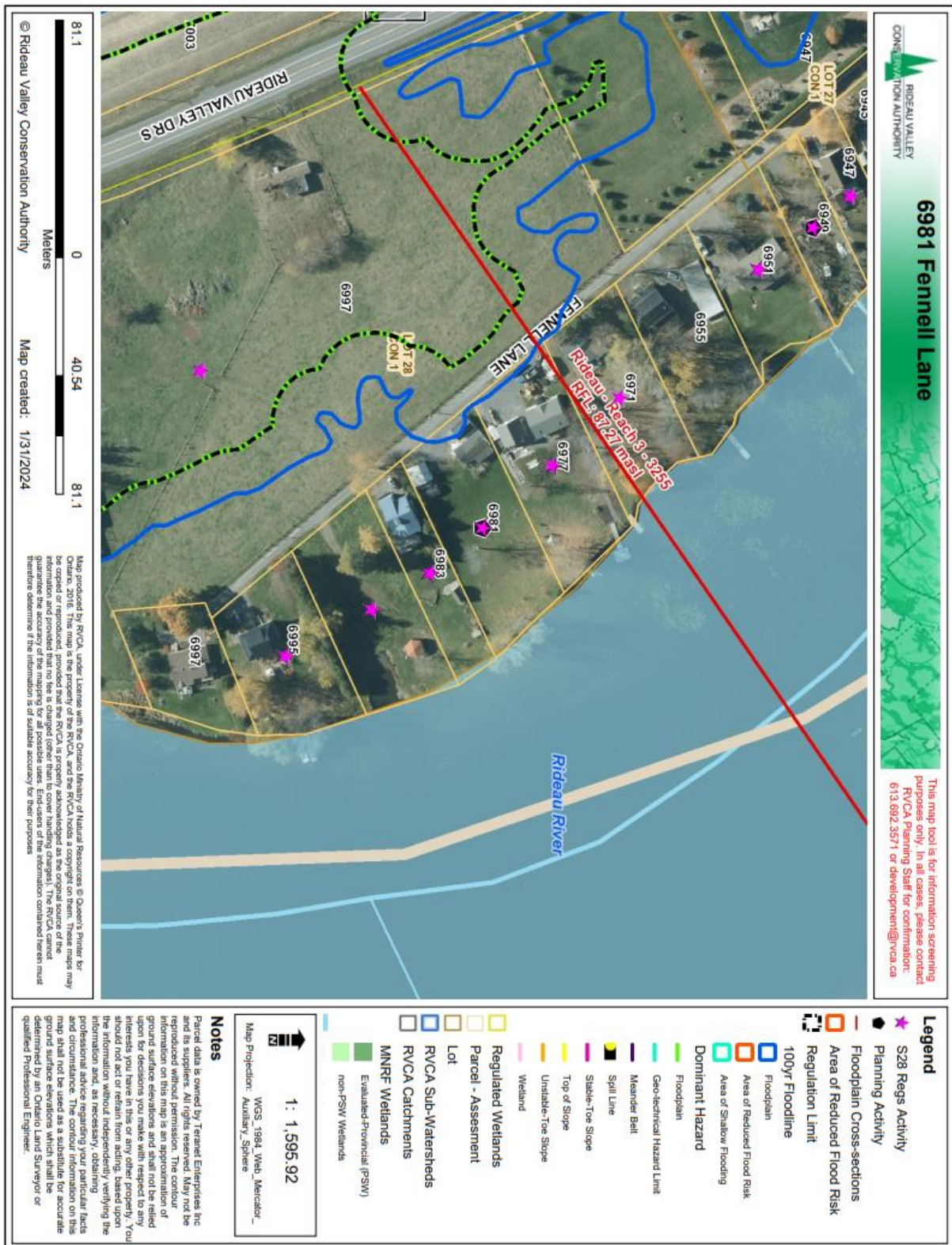
## **Next Steps:**

The Executive Committee has the power to make decision to either:

- Approve the application;
- Approve the application with condition; or
- Deny the application.

A decision can be made in part for each component of the requested revisions or for the application as a whole.

RVCA Geoportal Mapping showing the location of the property within the floodplain, along with regulation cross section showing the corresponding 1:100 year regulatory flood level:



Applicant Report RV6-0622 and RV6-4723

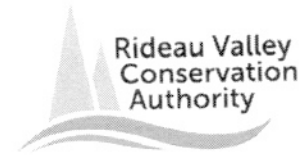
To: RVCA Executive Committee - Hearing

From: Robert Long & Marjorie Harriot - Applicants

Date: February 8, 2024

## Minimum Application Requirements

Section 28 of the *Conservation Authorities Act* and Ontario Regulation 174/06.



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Specific information required from an applicant in support of an application for development in identified "hazard" areas:

- Send electronic copies to [development@rvca.ca](mailto:development@rvca.ca), **or** provide documents on a USB flash drive (.pdf file format only, with a separate document for construction drawings).

### Mandatory minimum requirements for all applications

\*NOTE: See below for additional requirements.

- ☒ Application form sections completed in full – contact information, location of proposed works, description of works, etc.
- ☒ Signed application form
- ☐ Signed *Letter of Authorization* from applicant/landowner if application is being made by a contractor/agent
- ☒ Site plan: a plan of the property affected showing the type and location of the development/alteration drawn to scale, indicating setbacks (a legal survey of the property by an OLS is the preferred reference document)
- ☒ Construction plans/drawings/details **with dimensions** (i.e.: plan view, cross-section, etc.)
- ☐ Submission of the prescribed fee set by the CA at time of submission for review of the application

### Permission to undertake "development"<sup>1</sup>

\*NOTE: Dependent on the proposal, not all requirements may apply. Requirements may be based on a case-by-case basis.

### Hazard: Floodplain / Areas of Reduced Flood Risk

- ☒ A grading plan – prepared by a qualified professional engineer, C.E.T., or other qualified professional as approved by the RVCA - showing existing & proposed geodetic elevations of the property and of existing & proposed buildings
- ☐ Drainage details before and after development
- ☐ A complete description of the type, location and amount of fill proposed to be placed, dumped or removed
- ☐ Technical studies/plans as required to meet the regulatory provisions of CA Act S.28 — examples include: **floodproofing designs**, balanced cut and fill calculations by a qualified P. Eng., elevation surveys, etc. (NOTE: this is dependent on the proposed extent of intrusion into a regulated area and/or the hazard).

<sup>1</sup> "development" means,

- The construction, reconstruction, erection or placement of a building or structure of any kind,
- Any change to a building or a structure that would have the effect of altering the use or potential use of the building or structure, increasing the size of the building or structure, or increasing the number of dwelling units in the building or structure,
- Site grading, or
- The temporary or permanent placing, dumping or removal of any material, originating on the site or elsewhere; ("aménagement")

## Hazard: Slope Stability

- ☐ A grading plan - prepared by a qualified professional engineer - showing existing & proposed geodetic elevations of the property and of existing & proposed buildings
- ☐ Drainage details before and after development
- ☐ A complete description of the type, location and amount of fill proposed to be placed, dumped or removed
- ☐ Technical studies/plans as required to meet the regulatory provisions of CA Act S.28 — examples include: **geotechnical analysis by a qualified professional engineer**, elevation surveys, etc. (NOTE: this is dependent on the proposed extent of intrusion into a regulated area and/or the hazard).

## Hazard: Regulated Wetlands (Change / Interference with Wetlands<sup>2</sup>)

- ☐ A grading plan with existing & proposed geodetic elevations of the property and of existing & proposed buildings
- ☐ A complete description of the type, location and amount of fill proposed to be placed, dumped or removed
- ☐ Technical studies/plans as required to meet the regulatory provisions of CA Act S.28 — examples include: **environmental impact study (scoped or full)**, **hydrologic impact study**, elevation surveys, etc. (NOTE: this is dependent on the proposed extent of intrusion into a regulated area and/or the hazard).

2 "wetland" means land that,

- (a) Is seasonally or permanently covered by shallow water or has a water table close to or at its surface,
- (b) Directly contributes to the hydrological function of a watershed through connection with a surface watercourse,
- (c) Has hydric soils, the formation of which has been caused by the presence of abundant water, and
- (d) Has vegetation dominated by hydrophytic plants or water tolerant plants, the dominance of which has been favoured by the presence of abundant water, but does not include periodically soaked over wet land that is used for agricultural purposes and no longer exhibits a wetland characteristic referred to in clause (c) or (d). ("terre marécageuse") 1998, c. 18, Sched. I, s. 12.

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## Application to, and Alterations to Shorelines and Watercourses<sup>3</sup>

Alteration to a watercourse includes shoreline erosion protection, culvert installation (new and replacement) bridge construction, any channelization on any watercourse.

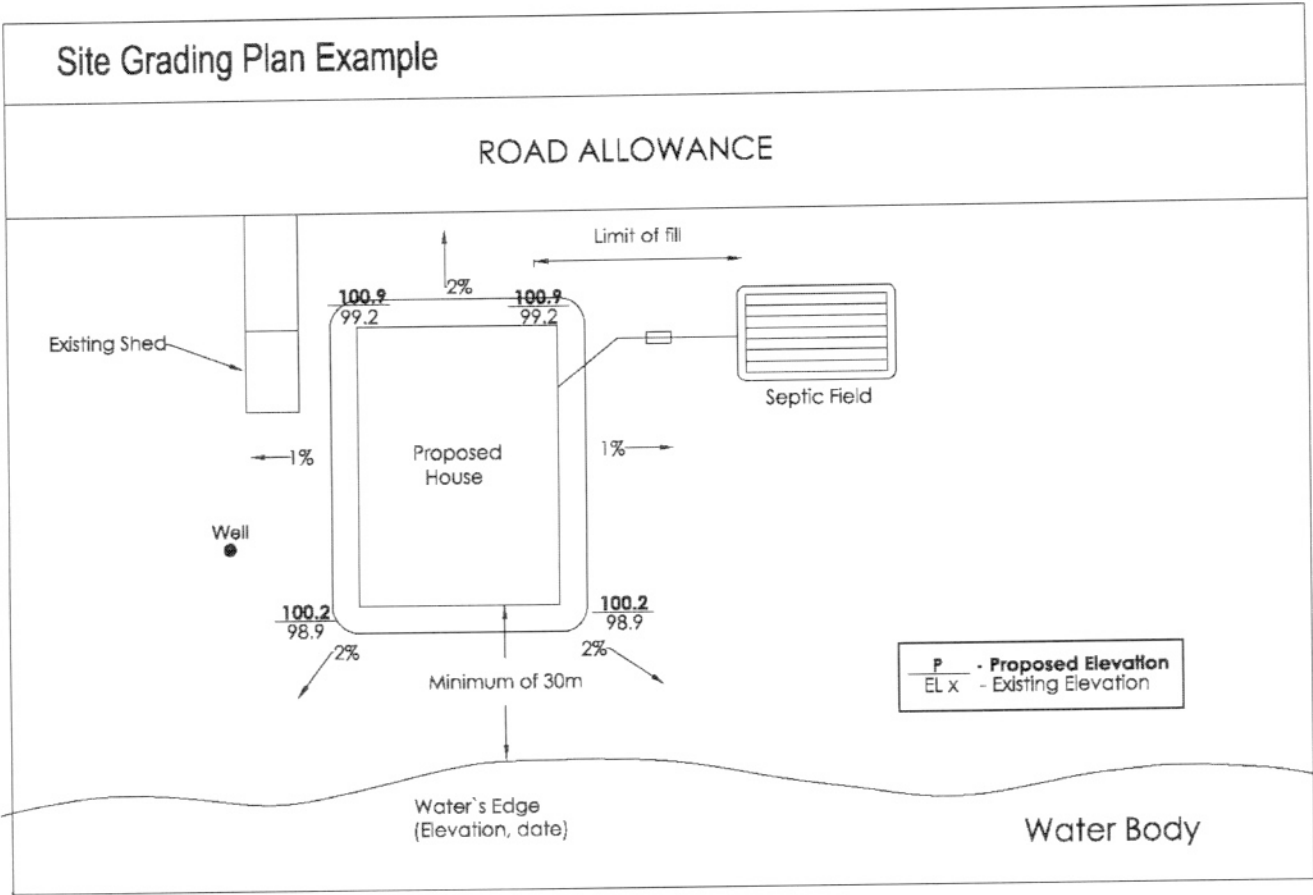
- ☐ **Photos of shoreline/culvert/bridge/watercourse**
- ☐ Plan view (top down) and cross-section drawings **with dimensions**
- ☐ A sediment and erosion control plan
- ☐ De-watering plan – as required
- ☐ Technical studies/plans as required to meet the regulatory provisions of CA Act S.28 (NOTE: this is dependent on the proposed extent of intrusion into a regulated area and/or the associated potential negative impacts with major applications generally requiring more complex technical studies)

3 "watercourse" means an identifiable depression in the ground in which a flow of water regularly or continuously occurs; ("cours d'eau")

When all of the information listed above is received in a form satisfactory to the Conservation Authority, and a pre-consultation or site assessment is conducted as necessary, and all fees are paid, an application will then be deemed to be complete. An application can be put "on hold" or returned to the applicant if it is subsequently determined that further information is required.

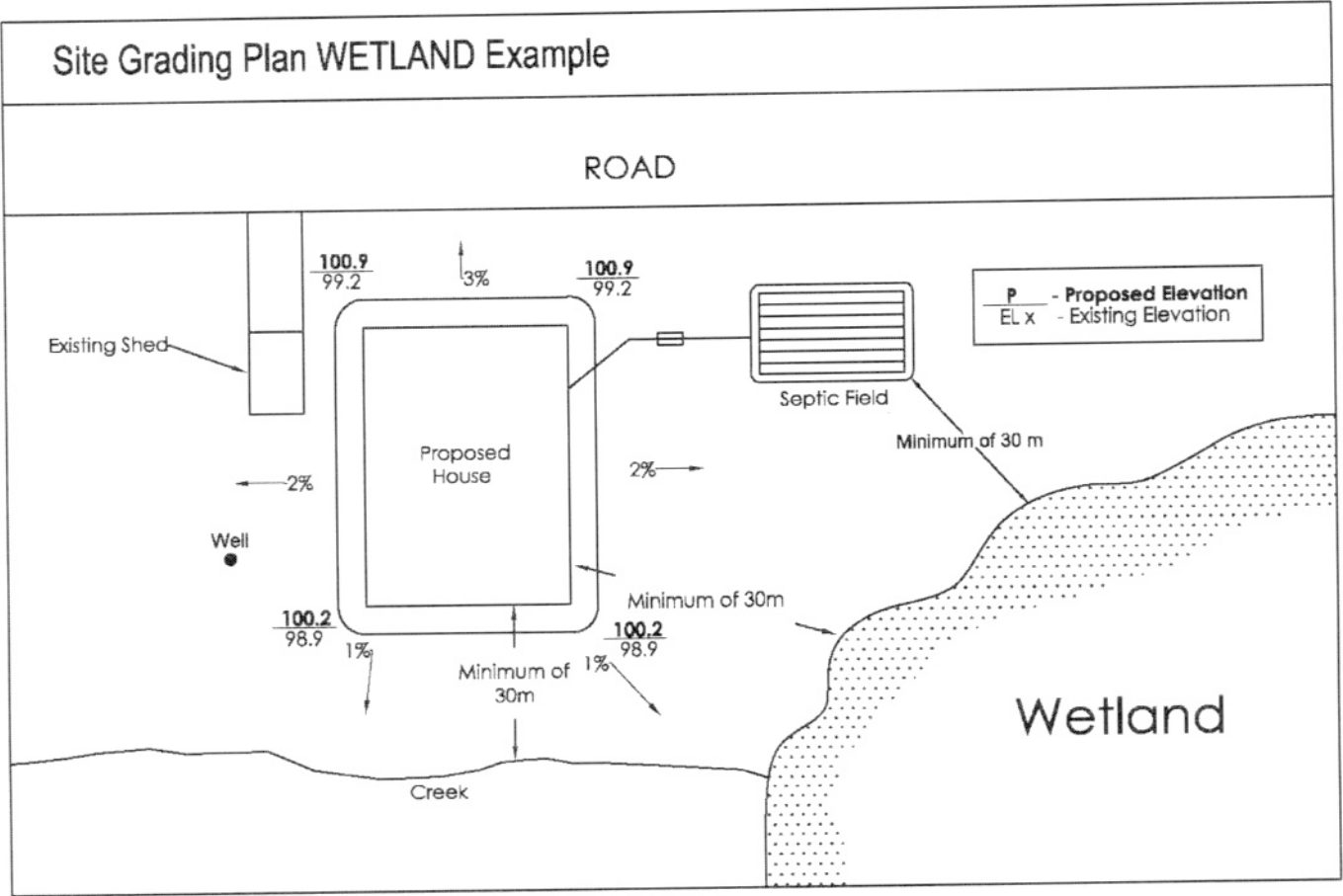


Example Plans (for reference ONLY)

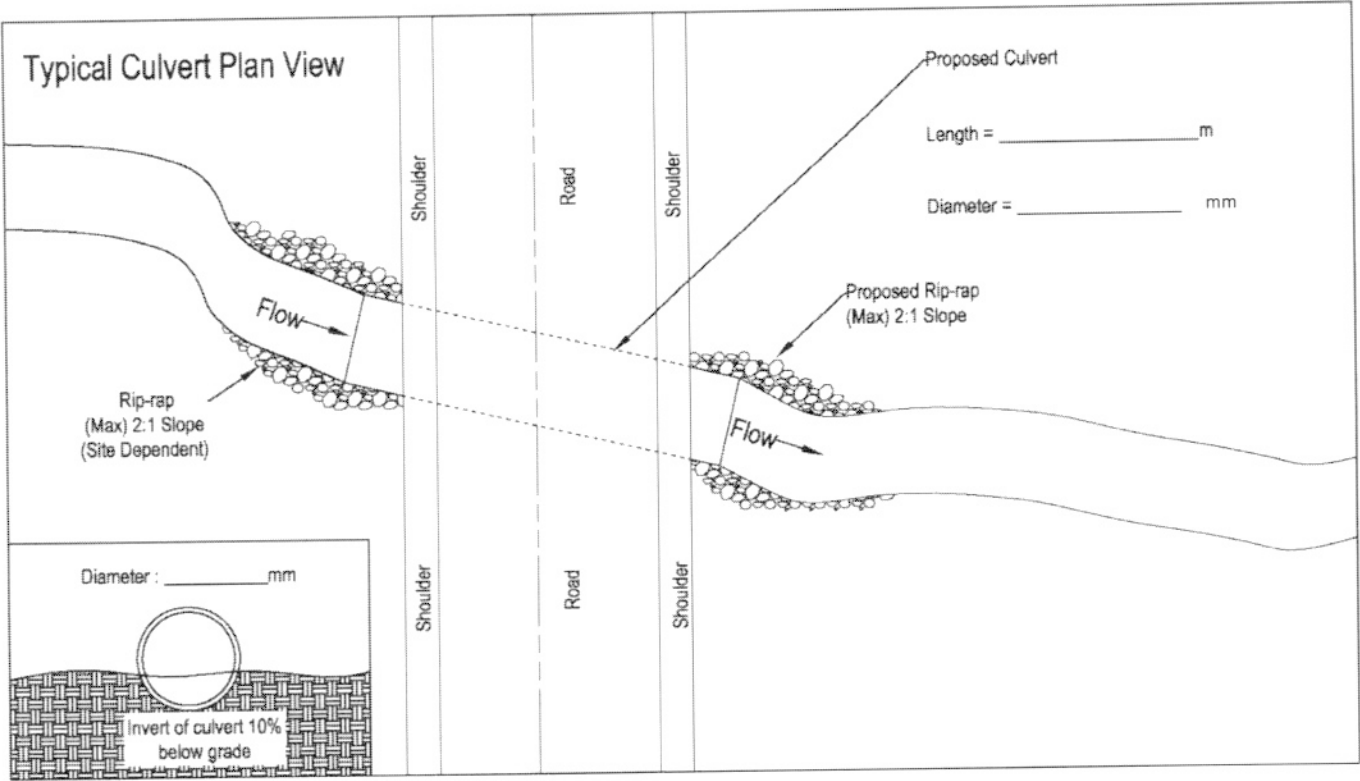




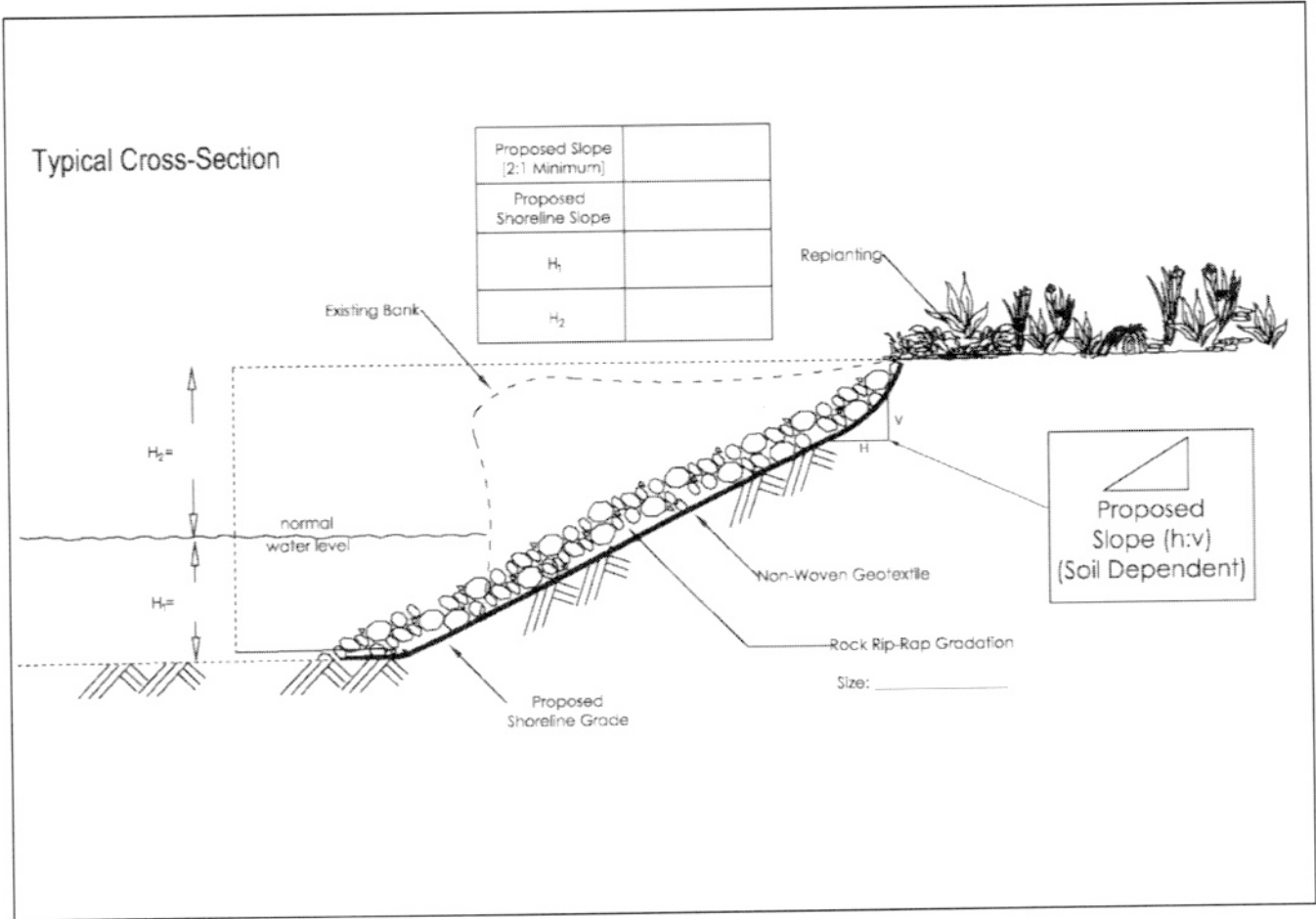
Example Plans (for reference ONLY)



Example Plans (for reference ONLY)



Example Plans (for reference ONLY)





**Rideau Valley  
Conservation  
Authority**

Box 599, 3889 Rideau Valley Drive  
Manotick, Ontario K4M 1A5  
613 692 3571  
www.rvca.ca

Application/File #:

Prior to application submission, please contact the  
RVCA for pre consultation or visit www.rvca.ca

Official Use Only  
Date Received Stamp

Related Files

Fee

# Application for "Development, Interference with Wetlands and Alterations to Shorelines and Watercourses" Ont. Reg. 174/06

Pursuant to Section 28 of the *Conservation Authorities Act* and Ontario Regulation 97/04

The Rideau Valley Conservation Authority will consider your application based on the information you provide below. Any false or misleading statement made on this application will render null and void any permission granted. Complete all relevant sections, date, sign and return the application along with applicable scale drawings and other documents necessary (refer to minimum guideline requirements) as well as application fee "Schedule B."

## Contact Information (please print clearly)

Property Owner's Name(s): **Robert Long / Marjorie Harriot**

Mailing Address (Street, P.O. Box): **1074 Tomkins Farm Cres.** City: **Greely** Postal Code: **K4P 1M5**

Telephone: Home: **613-859-2890** Work: **N/A** Mobile: **613-859-2890**

E mail: **robs67mustang@gmail.com**

Agent's Name:

**Property owner's letter of authorization required**

Mailing address (Street, P.O. Box): City: Postal Code:

Telephone: Home: Work: Mobile:

E mail:

## Location of Proposed Works

Property Assessment Roll Number (From Property Tax Notice, required): **0614182825230000000**

Municipal Street Address: **6981 Fennell Lane**

Municipality: **Ottawa** Former Municipality: **North Gower** Watercourse/Drain: **Rideau River**

Lot: **28** Concession: **1** Registered Plan Number: **211120-2** Sub lot:

Culvert Identification Number:

## Description of Works (please check each that apply)

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Placement of fill, site alteration, changes in land elevation | <input checked="" type="checkbox"/> Construction of a structure (building, septic system, pools) |
| <input type="checkbox"/> Pond construction, cleanout and/or repair                                | <input type="checkbox"/> Watercourse crossing (culvert or bridge)                                |
| <input type="checkbox"/> Dam re construction/repair   | <input type="checkbox"/> Bank protection   |
| <input type="checkbox"/> Dredging   | <input type="checkbox"/> Alteration to a watercourse or shoreline                                |
| <input type="checkbox"/> Drainage works and ditching  | <input type="checkbox"/> Other _____   |
| <input type="checkbox"/> Interference with a wetland  |  |

What is the purpose of the work? PLEASE SEE ATTACHED.  
TO ADDRESS RVCA CONCERNS.

Proposed Starting Date JUNE 17, 2022 Completion Date JUNE 17, 2024

Existing use of land RESIDENTIAL Proposed use of land RESIDENTIAL  
(i.e., residential, commercial, vacant)

Previous RVCA application on this property?

☒ yes ☐ no

Planning approval required? (e.g. site plan approval or re-zoning, minor variance)

☐ yes ☐ no

Applications made to other agencies? (e.g., MNRF, MOECC, Parks Canada, DFO)

☐ yes ☐ no

Municipal Building Permit required?

☒ yes ☐ no

Septic application/permits required?

☐ yes ☐ no

Is fill remaining on site? (If the answer is "no" you must specify an address where the fill is to be removed to.)

☒ yes ☐ no

Details (e.g. Permit Number, Application Number):

RV6-0622

UNKNOWN

UNKNOWN

SEPTIC PASSED.

address \_\_\_\_\_

## Submission Requirements and Terms

- Applications must be submitted digitally with one hard copy to scale.
- Permits or Approvals granted by the Rideau Valley Conservation Authority are non transferable.
- Permits, approvals, etc. may be required from other agencies prior to undertaking the proposed work. Rideau Valley Conservation Authority permission, if granted for the proposed work, does not exempt the owner/agent from complying with any or all other laws, statutes, ordinances, directives, regulations, approvals, etc. that may affect the property or the use of same.
- Fees paid are for application processing only; the RVCA reserves the right to refuse permission based on policy provisions and the applicant's right to a hearing under Section 28(12) of the Act.
- Section 28 (20) Conservation Authorities Act — An officer appointed by the RVCA may enter on private property, other than a dwelling or building, if the entry is for the purpose of considering a request related to the property for permission that is required by a regulation. By signing this form consent is being granted.
- Cancellation fee may apply to applications that have been accepted.

**\* I/we the undersigned hereby certify to the best of my/our knowledge and belief that all of the above-noted, attached and/or supporting documentation information is correct and true. I/we further solemnly declare that I/we have read and fully understand the contents of this application and specifically the terms and conditions, and the declaration which is written below.**

By signing this application, consent is given to the Rideau Valley Conservation Authority, its employees and authorized representatives to access the property for the purposes of obtaining information and monitoring any approved works pursuant to Section 28(20) of the Act.

Owner's name: ROBERT LONG [Signature] Date: 30, 11, 2023

Authorized Agent: \_\_\_\_\_

☐ Letter of Authorization from owner must be attached if agent is signing off on all works

## Notice of collection

Pursuant to the municipal Freedom of Information and Protection of Privacy Act, the personal information contained on this form is collected under the Authority of the Conservation Authorities Act, R.S.O. 1990, Chapter C. 27, and O Regulation 174/06 RVCA Regulation of Development, Interference with Wetlands and Alteration to Shorelines and Watercourses. This information is used to access applications and where approved issue permits. Information on this form will be disclosed to government and municipal agencies for review and comments and may be disclosed to members of the public through the Freedom of Information process.

RVCA Development application.

What is the purpose of the work?

To address concerns of RVCA regarding development.

- 1) **Construction of additional gross floor area.** This passed inspection by the City Sept 27, 2023. Ref. Permit No. 2206283. There will be no stair access so it is regarded as uninhabitable space. See attached Inspection Report.
- 2) **Construction of a covered porch.** The wrap around porch roof was previously approved by the City as per stamped plans. Stamp date August 4, 2022. The porch decking follows the porch roofline to allow for use of the cover above. Without the porch decking, we are left with a sheltered area we cannot realistically make use of. We are retired and in our late sixties so it is very natural to desire to be able to enjoy the shelter provided by the porch roof. We picture sitting on it in the evening or morning to simply enjoy the rural nature of the setting. As such, we have plans to submit for a building permit to allow for use of this decking under such welcoming shade/shelter. It was advised however, that RVCA approval of this is required prior to the City providing building permit approval.

As such, we seek RVCA approval of the porch decking following the porch roofline. See attached plans and photos.

- 3) **Placement of fill beyond the extent indicated in the Proposed Lot Grading Plan dated February 14, 2022.** The additional fill was required to blend the house, garage, septic and neighbouring property with a safe and maintainable slope to the existing grade. It was also used to provide for sustainable frost protection around the footings of the buildings rather than exclusively employing only insulated footings where the insulating material could experience degradation over time. The additional fill was also recognized as providing for a safe and secure passage from the residence and garage to the lower yard area fronting the Rideau River. The grade now also allows for safe passage of property maintenance equipment (ie: lawn tractor). The February 14, 2022 grading plan provided for a somewhat hazardous passage to the lower yard area/waterfront and indeed opened up possible liability issues for the homeowners should injury occur as a result of any possible visitors to the property transversing the grade and losing their footing.

RVCA advised that additional fill may introduce additional flooding on neighbouring properties should water levels ever reach that far. The additional fill however, similarly follows the grading permitted on adjacent properties so we don't understand the rationale as to why this would not also be permitted. Additionally, one neighbour has a "grandfathered" retaining wall that our fill reaches to partly at some points but does not come close to equaling or surpassing. As per RVCA instructions, we have commissioned and attached a new survey of the property showing the improved grading configuration.

As such, we seek RVCA approval to retain the fill currently in place. See attached photos and grading survey drawing.

- 4) **Construction of a shed.** The shed was prior existing and was relocated due to construction. The shed is used for temporary storage of owner's belongings and is expected to be removed once the project has reached completion.

- 5) **The approved plans limit the lower level height to 5"-11" as a result of the committee of adjustment decision file no. D08-02-21/A-00439. Current construction of the lower level appears to not be in conformance with the aforementioned.** The height limitation on this space is explained by RVCA as intentional to limit the area as an unused crawl space to allow possible flood waters to pass through in and out of the crawl space through the foundation windows. We were told that because of this, all mechanical would need to be suspended under the floor above to prevent flood damage to it.

This arrangement would promote a very unhealthy environment with mould, dampness and likely cause serious health issues for myself and my wife. The overall lower level height was determined by the size of available concrete forms used in constructing the foundation walls of our home. We are both in our late sixties and live alone so we cannot understand the perceived threat we have made by constructing our retirement home with a lower level that we can utilize as storage space for our belongings rather than living with a damp area right under our feet. I am also six feet tall and the height limitation will impact my ability to maintain good posture and result in neck pain and lower back pain. Additionally, to maintain our health as we are aging, we have several pieces of exercise equipment we use. These equipments will not be able to be accommodated within a crawl space. The limits also placed on the size of the footprint of our house prohibit the use of this equipment on the main floor level.

The lower level height was extended for reasons stated above as well as to accommodate trades accessing the space to work safely and efficiently. It will not be used as habitable space. Additionally, we discovered that installing HVAC/plumbing mechanical suspended under floor is impractical and significantly more expensive. As such, all HVAC systems are mounted on the foundation slab. Radiant floor heating system is also situated within the foundation slab. Electrical outlets are present and spaced every 12' as per building code requirements.

The lower level space is fully waterproofed, insulated and has a double sump pump system in case water ever did get in. The HVAC system includes a HEPA air filtration system and the height of the lower level window openings are actually situated higher than the critical level of possible flooding as reported for the 1:100 year flood plain. The footprint of our home is also so very small, neighbouring properties cannot possibly be affected by any water that might be displaced if it ever reached our foundation. We want to be able to keep water out, not let it in.

As such, we seek RVCA approval to retain the current configuration of the lower level. See attached photos and inspection report.

# TOPOGRAPHIC PLAN OF SURVEY OF

## PART OF LOT 28 CONCESSION 1

Geographic Township of NORTH GOWER  
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 250



### Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

### Surveyor's Certificate

I CERTIFY THAT:

1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 23rd day of November, 2023.

November 30, 2023  
Date

T. Hartwick  
Ontario Land Surveyor

### Notes & Legend

Denotes	
□	Survey Monument Planted
■	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
IB*	Iron Bar (0.3 Long)
CP	Concrete Pin
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebakk Ltd.
WTL	Centreline of Wall ± to Line
(P1)	Plan 5R-2038
(P2)	Plan 5R-9037
(P3)	Plan 5R-13655
(P4)	(1697) Plan Dated December 17, 2010
(P5)	Plan 5R-12369
(P6)	(1692) Plan Dated October 20, 2020
RWC	Concrete Retaining Wall
TRW	Timber Retaining Wall
CLF	Chain Link Fence
E/W	Eastwest
+ 65.00	Location of Elevations
+ 65.00	Location of Retaining Wall Elevations

Bearings are grid, derived from the southerly limit of Part 1, having a bearing of N64°25'20"E and are referred to Plan 5R-2038 and the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM

V-60476



THIS PLAN IS NOT VALID UNLESS  
IT IS AN EMBOSSED ORIGINAL  
COPY ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1028, Section 29 (3).

### ELEVATION NOTES

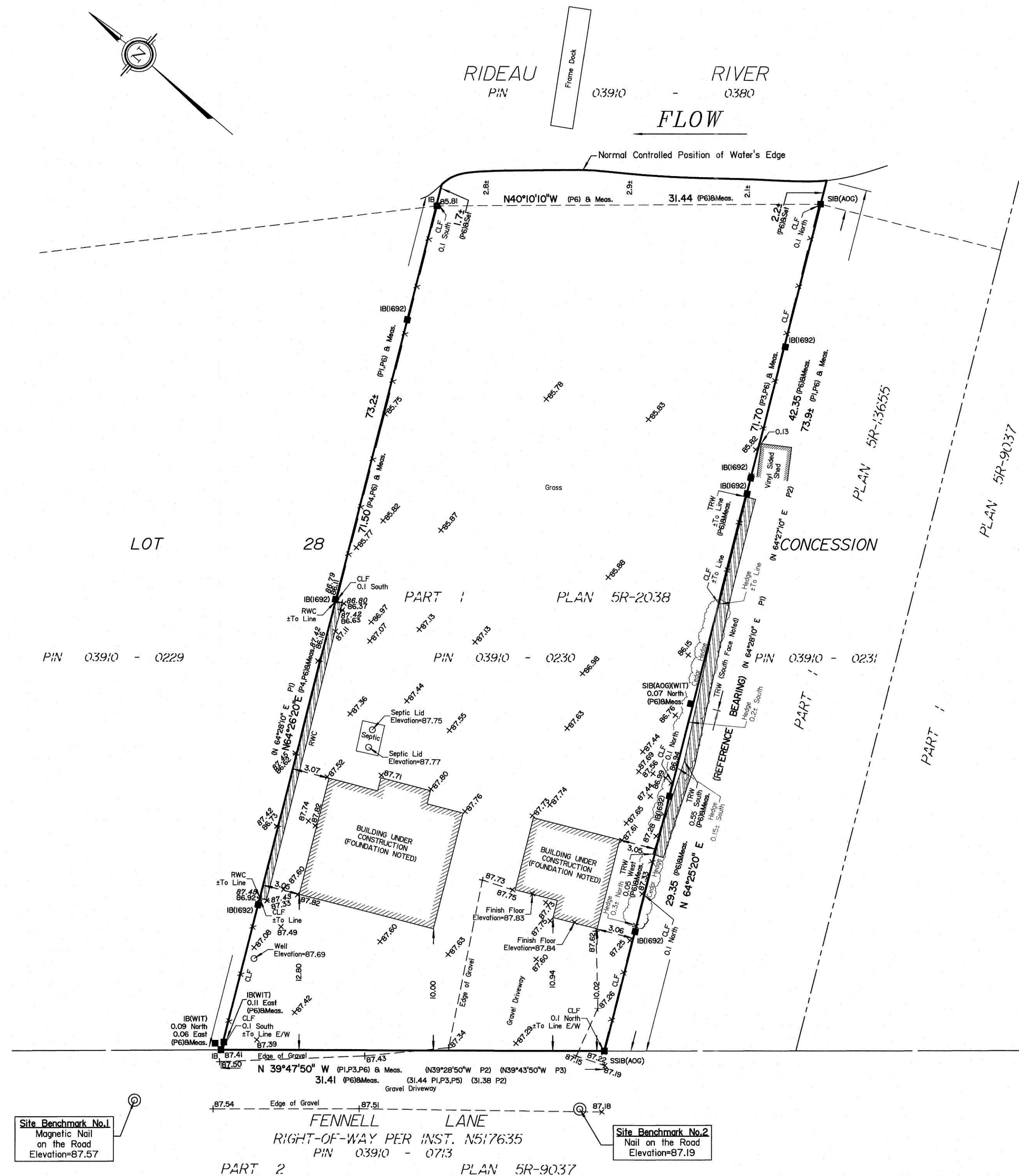
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

© Annis, O'Sullivan, Vollebakk Ltd., 2023. "THIS PLAN IS PROTECTED BY COPYRIGHT"

**ANNIS, O'SULLIVAN, VOLLEBEKK LTD.**  
14 Concourse Gate, Suite 500  
Nepean, Ont. K2E 7S6

Phone: (613) 727-0850 / Fax: (613) 727-1079  
Email: Nepean@aovltd.com

Ontario  
Land Surveyors Job No. 23850-23 Patterson/Homes PHL128 Cont. NG 0 F



Site Benchmark No.1  
Magnetic Nail  
on the Road  
Elevation=87.57

Site Benchmark No.2  
Nail on the Road  
Elevation=87.19

FENNEL LANE  
RIGHT-OF-WAY PER INST. N517635  
PIN 03910 - 0713  
PART 2  
PLAN 5R-9037



PROPOSED  
NEW DWELLING  
AND NEW GARAGE  
AT  
6981 FENNEL LANE  
( KARS )  
OTTAWA ONT.

NOTE:  
1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering of materials.  
2. All work to comply with the Ontario Building Code.  
3. All dimensions include thickness of gypsum board on stud walls.

4		
3	BACK STEPS	20/12/23
2	DECK AND PORCH	06/12/23
1	BACK DECK	07/11/23
0	DECKS	24/10/23
No.	REVISION	DATE

ROBERT LONG  
robs67mustang@gmail.com

DECK SITE PLAN

JOB #  
2200

DATE  
AUG 2023

SCALE:  
1/32"=1'-0"

D5

NOTES:  
• Construction of a covered porch. The wrap around porch roof was previously approved by the City as per stamped plans. Stamp date August 4, 2022. The porch decking follows the porch roofline to allow for use of the cover above. Without the porch decking, we are left with a sheltered area we cannot realistically make use of. We are retired and in our late sixties so it is very natural to desire to be able to enjoy the shelter provided by the porch roof. We picture sitting on it in the evening or morning to simply enjoy the rural nature of the setting. As such, we are submitting for a building permit to allow for use of this decking under such welcoming shade/shelter. It was advised however, that RVCA approval of this is required prior to the City providing building permit approval.

Please be advised we have also sought RVCA approval of the porch decking following the porch roofline. See plans and photos on subsequent pages.

• The approved plans limit the lower level height to 5'-11" as a result of the committee of adjustment decision file no. D08-02-21/A-00439. Current construction of the lower level appears to not be in conformance with the aforementioned. The height limitation on this space is explained by RVCA as intentional to limit the area as an unused crawl space to allow possible flood waters to pass through in and out of the crawl space through the foundation windows. We were told that because of this, all mechanical would need to be suspended under the floor above to prevent flood damage to it.

This arrangement would promote a very unhealthy environment with mould, dampness and likely cause serious health issues for myself and my wife. The overall lower level height was determined by the size of available concrete forms used in constructing the foundation walls of our home. We are both in our late sixties and live alone so we cannot understand the perceived threat we have made by constructing our retirement home with a lower level that we can utilize as storage space for our belongings rather than living with a damp area right under our feet. I am also six feet tall and the height limitation will impact my ability to maintain good posture and result in neck pain and lower back pain. Additionally, to maintain our health as we are aging, we have several pieces of exercise equipment we use. These equipments will not be able to be accommodated within a crawl space. The limits also placed on the size of the footprint of our house prohibit the use of this equipment on the main floor level.

The lower level height was extended for reasons stated above as well as to accommodate trades accessing the space to work safely and efficiently. It will not be used as habitable space. Additionally, we discovered that installing HVAC/plumbing mechanical suspended under floor is impractical and significantly more expensive. As such, all HVAC systems are mounted on the foundation slab. Radiant floor heating system is also situated within the foundation slab. Electrical outlets are present and spaced every 12 as per building code requirements.

The lower level space is fully waterproofed, insulated and has a double sump pump system in case water ever did get in. The HVAC system includes a HEPA air filtration system and the height of the lower level window openings are actually situated higher than the critical level of possible flooding as reported for the 1:100 year flood plain. The footprint of our home is also so very small, neighbouring properties cannot possibly be affected by any water that might be displaced if it ever reached our foundation. We want to be able to keep water out, not let it in.

Please be advised we have also sought RVCA approval to retain the current configuration of the lower level. See plans and photos on subsequent pages.



1 SITE PLAN - DECK  
D5 SCALE: 1/32"=1'-0"

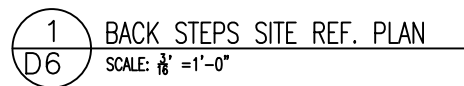
NOTE:

1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering of materials.
2. All work to comply with the Ontario Building Code.
3. All dimensions include thickness of gypsum board on stud walls.

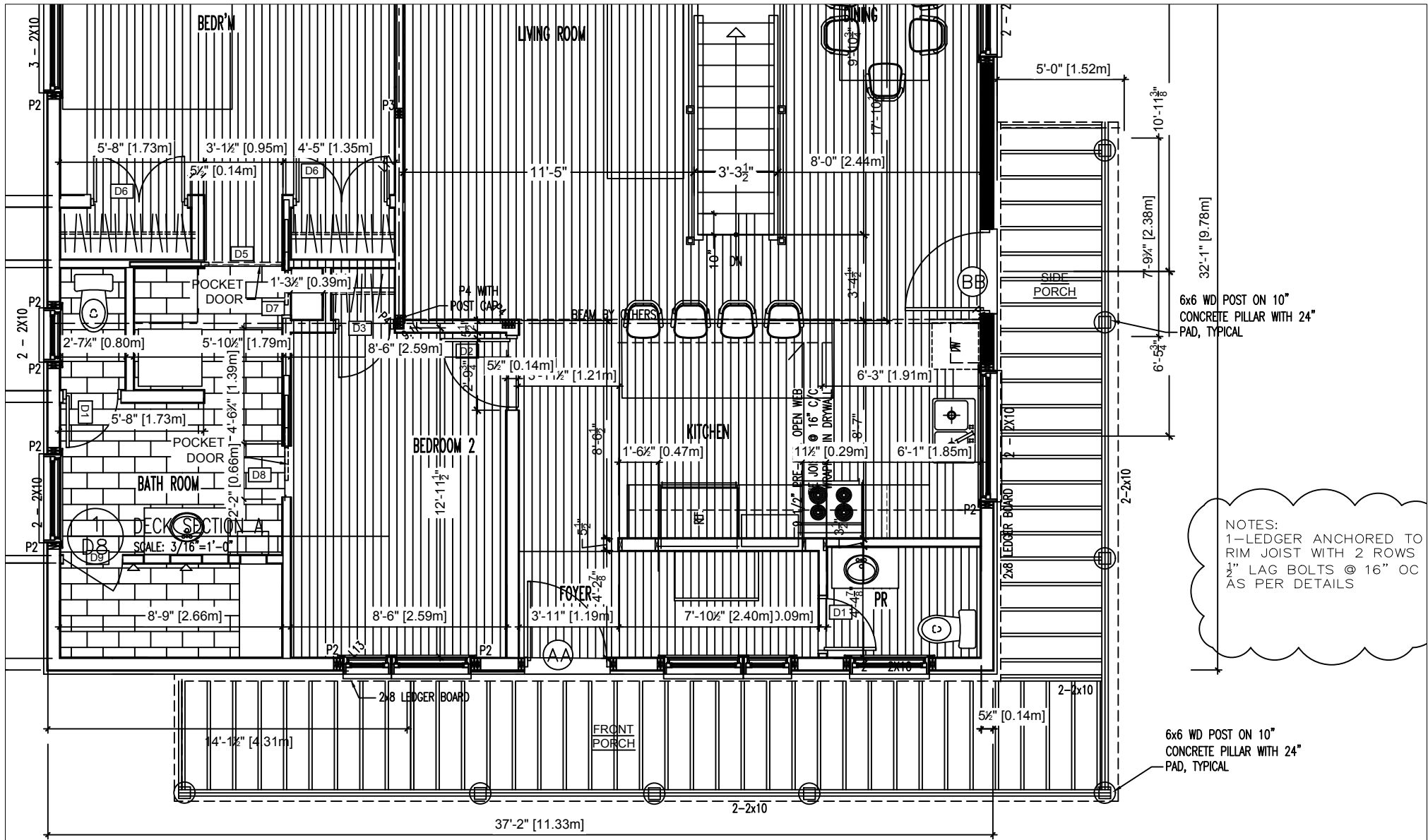
**ROBERT LONG**  
robs67mustang  
@gmail.com

JOB # 2200
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SCALE: 3/16"=1'-0"	D6
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1 PORCH PLAN  
D10 SCALE: 3/16"=1'-0"

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 255mm (10") - MAX 355mm (14")  
TREAD: MIN 280mm (11") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 865mm (34") - MAX 920mm (38");

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

GENERAL NOTES:

- USE JOIST HANGERS SUITABLE FOR JOIST SIZE AT LEDGERS
- USE ALL REQUIRED FASTENERS FOR JOIST HANGERS

NOTES:  
1-LEDGER ANCHORED TO RIM JOIST WITH 2 ROWS 3" LAG BOLTS @ 16" OC AS PER DETAILS



2 PORCH ELEVATION SOUTH  
D10 SCALE: 3/16"=1'-0"



# PROPOSED NEW DWELLING AND NEW GARAGE AT 6981 FENNEL LANE ( KARS ) OTTAWA ONT.

NOTE:  
1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering of materials.  
2. All work to comply with the Ontario Building Code.  
3. All dimensions include thickness of gypsum board on stud walls.

4		
3		
2		
1		
0	FRONT PORCH LEDGER NOTE	20/12/2023
No.	REVISION	DATE

ROBERT LONG  
robs67mustang@gmail.com

## PORCH DETAILS

JOB #  
2200

DATE  
AUG 2023

SCALE:  
316"=1'-0"

D10





NOTE:

1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering of materials.
2. All work to comply with the Ontario Building Code.
3. All dimensions include thickness of gypsum board on stud walls.

4		
3		
2		
1		
0	CRAWL SPACE HT	2023/12/06
No.	REVISION	DATE

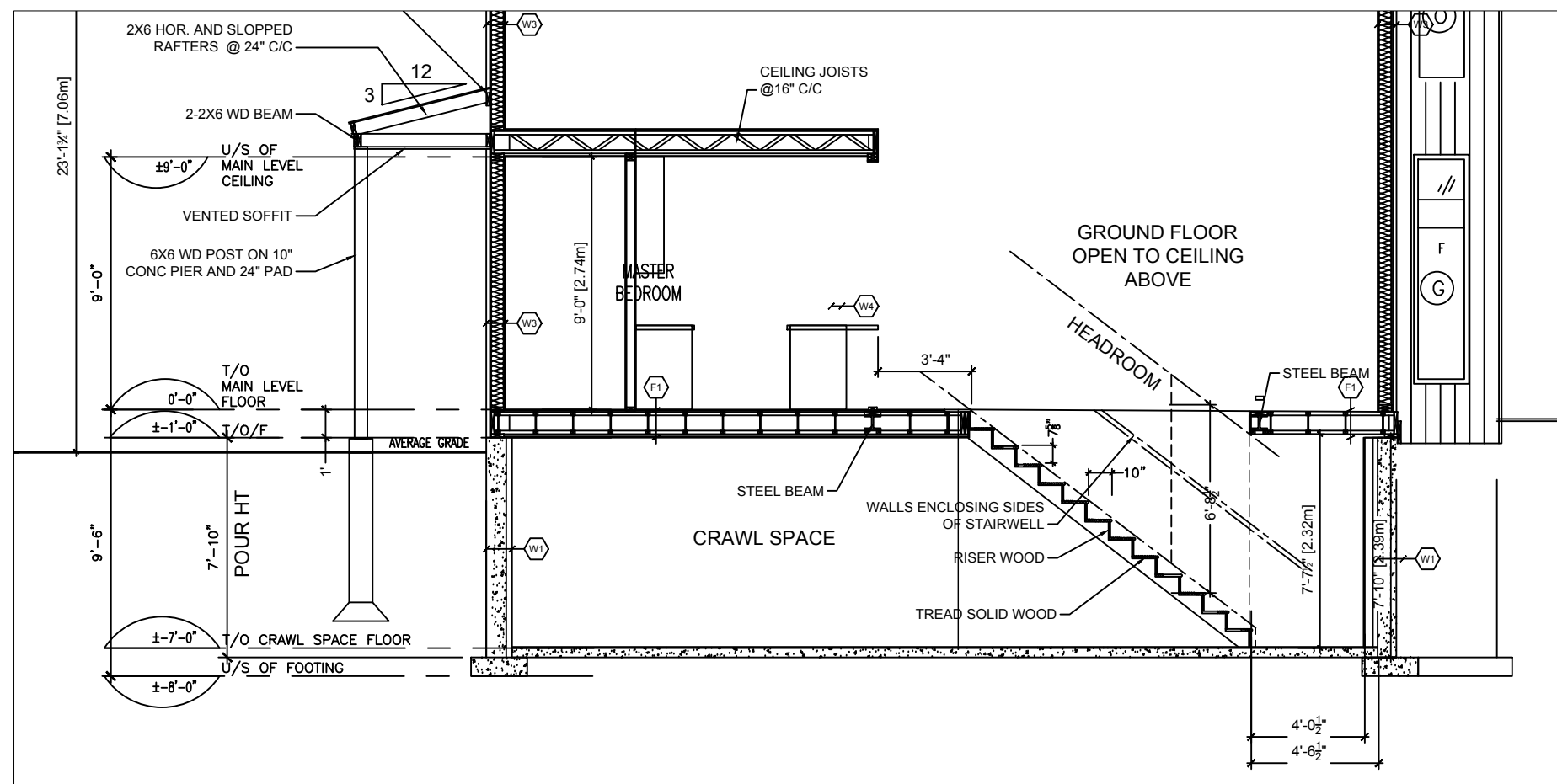
**ROBERT LONG**  
robs67mustang  
@gmail.com

PROPOSED CRAWL SPACE HEIGHT	
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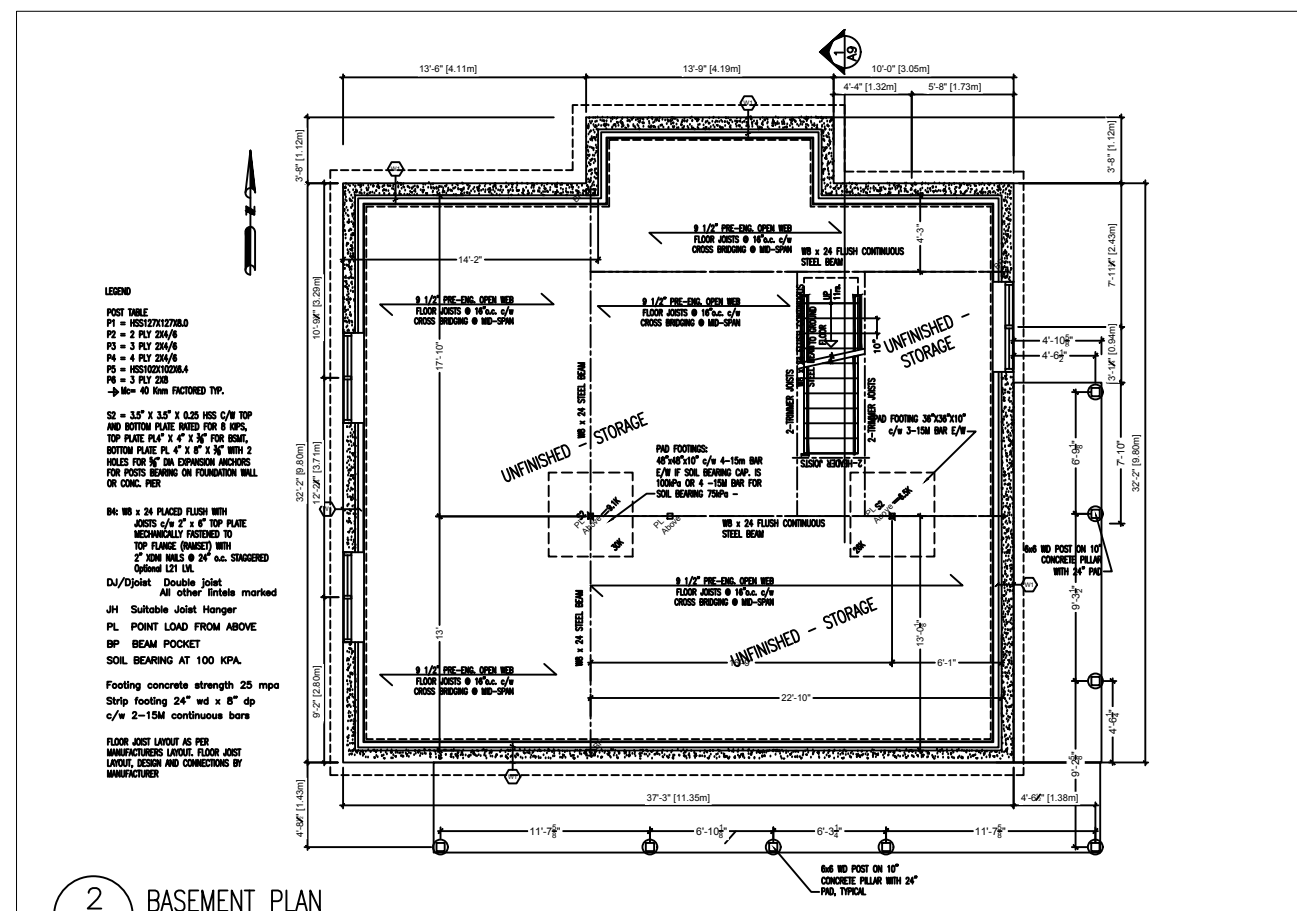
JOB # 2200
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DATE  
AUG 2023

SCALE: 316"=1'-0"	D 1 2
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1 BASEMENT SECTION  
D12 SCALE: 3/16"=1'-0"



2 BASEMENT PLAN  
D12 SCALE: 3/32"=1'-0"





## FIELD MEMORANDUM

- ☒ Subgrade Evaluation  
☐ Footing Evaluation

- ☐ Steel Reinforcement Evaluation  
☐ Other:—

### PROJECT INFORMATION

File No.: 023300 Date: MAY 10 / 2023  
To: ROBERT LONG AND MARGORIE HARRIOT  
Project: PROPOSED SINGLE FAMILY DWELLING AND DETACHED GARAGE  
Location: 6981 FENNEL LANE, KARS, ONT

**OBSERVATIONS:** THE SUBGRADE WAS OBSERVED WITHIN THE EXCAVATIONS AT THE ABOVE NOTED LOCATION AND FOUND TO CONSIST OF NATIVE UNDISTURBED GREY BROWN MEDIUM SAND SOME SILT. IT IS UNDERSTOOD BASED ON DISCUSSIONS WITH THE CONTRACTOR THAT A NON-WOVEN GEOTEXTILE FABRIC WILL BE PLACED OVER A SUB-EXCAVATED AREA IN ABOUT THE CENTRE OF THE EXCAVATION FOR THE PROPOSED SINGLE FAMILY DWELLING AND APPROXIMATELY 0.60M OF CLEAR CRUSHED STONE ADDED IN ORDER TO RAISE THE SUBGRADE UP TO THE PROPOSED USF LEVEL.

### COMMENTS:

- ☒ Subgrade surface observed within excavation at time of site visit is considered suitably prepared.  
☒ Allowable bearing pressure for footings based on observations: 75 kilopascals, S.L.S.  
☒ It is understood that granular material (engineered fill) is to be placed within the excavation in order to raise the subgrade to founding level. The engineered fill (if not clear crushed stone) should be compacted in maximum 250mm thick loose lifts to at least 95 percent of the SPMD, using suitable vibratory compaction equipment. If the engineered fill consists of clear crushed stone, the clear crushed stone should be placed in maximum 600mm thick lifts and be compacted using suitable vibratory compaction equipment. The engineered fill should extend horizontally a minimum 300mm out beyond the edge of the footings and then downwards and outwards at 1 horizontal to 1 vertical, or flatter.  
☐ Any loose/disturbed/deleterious material should be removed from within the footing formwork prior to concrete placement.  
☐ Strip footing (formwork) widths found to be in general accordance with footing details indicated on reference plan(s).  
☐ Pad footing (formwork) widths found to be in general accordance with footing details indicated on reference plan(s).  
☐ Strip footing steel reinforcement found to be in general accordance with footing details indicated on reference plan(s).  
☐ Pad footing steel reinforcement found to be in general accordance with footing details indicated on reference plan(s).  
☐ Foundation wall steel reinforcement found to be in general accordance with foundation details indicated on reference plan(s).  
☐ Other:—

- ☐ Please call for re-evaluation when ready.  
☐ Please call for compaction test when ready, as required.

Reference Plans:—

### ADDITIONAL CONSIDERATIONS:

- ☒ A suitable non-woven geotextile should be provided between the sandy subgrade surface and the clear crushed stone fill.  
☐ In order to minimize the potential for foundation wall cracking where the footings transition between overburden/engineered fill subgrade materials and the bedrock subgrade, it is suggested that 2-15M steel horizontal bars should be placed within the foundation wall formwork, on the top and bottom formwork ties, extending out beyond the subgrade transitions a minimum 3 metres in both directions.  
☒ Water was observed within the excavation. Water should be removed from the excavation as much as possible, and concrete should be placed within the footing formwork such that it displaces any residual water within the footing formwork and does not mix with the water.  
☒ The subgrade should be continuously protected from below freezing temperatures. Fresh concrete should be protected from below freezing temperatures.

Signature: Matt Pankuk



# INSPECTION REPORT

Address 6981 Fennell Lane Application No. A22-003952

Owner/Builder Mark Permit No. 2206283

Site Contact 613-850-6275 Block No./Lot No. Floor Unit No.

## BUILDING

Structural Framing Inspection Passed

## MECHANICAL

HVAC Rough-in Inspection Passed

## PLUMBING

☐ Water meter not installed

INSPECTION COMMENTS Permit Plans on site ☐ Order Issued

Construct a 1 storey detached dwelling

Note: Bedroom and Bathroom amenities removed from open loft space and to remain so. Space not to be used as habitable floor as per committee of adjustment decision file no. D08-02-21/A-00439

Resolved items from 13-Sep-2023

Received: P.Eng letter, revised plans, truss & joist layouts

### Deficiencies from 27-Sep-2023

1. Provide PDF copy of truss shop drawings

Ensure weather barrier complete prior to insulating house

☐ Inspection not ready, \$100.00 reduction to Refundable Inspection Fee (if applicable)

Received By mark@pattersonhomes.ca

Building Official

Ben Reeves  
Ben.Reeves@ottawa.ca  
Tel: 613-580-2424 Ext. 13798

Date Requested 27-Sep-2023

Date Completed 27-Sep-2023

☒ Same

Page 1 of 1





# INSPECTION REPORT

Address 6981 Fennell Lane Application No. A22-003952

Owner/Builder Mark Permit No. 2206283

Site Contact 613-850-6275 Block No./Lot No.          Floor          Unit No.         

## BUILDING

Other Failed, call for a re-inspection Crawl Space         

## MECHANICAL

## PLUMBING

☐ Water meter not installed

INSPECTION COMMENTS Permit Plans on site ☐ Order Issued

Construct a 1 storey detached dwelling

Note: Bedroom and Bathroom amenities removed from open loft space and to remain so. Space not to be used as habitable floor as per committee of adjustment decision file no. D08-02-21/A-00439

Attic insulation to be confirmed at occupancy inspection.

It has been brought to attention that the approved plans limit the lower level height to 5'11" as a result of the committee of adjustment decision file no. D08-02-21/A-00439. Current construction of the lower level appears to not be in conformance with the aforementioned.

Please provide comment by 26-October-2023 outlining how conformance will be obtained.

☐ Inspection not ready, \$100.00 reduction to Refundable Inspection Fee (if applicable)

Received By mark@pattersonhomes.ca

Building Official

Ben Reeves  
Ben.Reeves@ottawa.ca  
Tel: 613-580-2424 Ext. 13798

Date Requested 18-Oct-2023

Date Completed 18-Oct-2023

☒ Same

Page 1 of 1